
STAFF COMMENTS FOR PLANNING COMMISSION

MEETING DATE: July 19, 2006

SITE PLAN: **AFP-06-010**

TITLE: Kentlands Square – Sunoco

REQUEST: **AMENDMENT TO FINAL PLAN APPROVAL**
For service station/signage changes

ADDRESS: 121 Kentlands Boulevard

ZONE: MXD (Mixed Use Development)

APPLICANT/REPRESENTATIVE/ATTORNEY/DEVELOPER: (as applicable)

Applicant: Core States Engineering – Jen Ugolic
Property Owner: Sunoco, Inc.

STAFF PERSON: Jacqueline Marsh, Planner

Enclosures:

Staff Comments

- Exhibit 1: Application
- Exhibit 2: Site location map
- Exhibit 3: Photographs of existing conditions
- Exhibit 4: Mobil conversion to Sunco monument reimage
- Exhibit 5: Section 24-212(r) of the City Code: Service station signs
- Exhibit 6: Title sheet and sign schedules
- Exhibit 7: Existing site plan and existing photos
- Exhibit 8: Proposed site plan and proposed elevations
- Exhibit 9: Proposed building and sign ID details
- Exhibit 10: Proposed canopy and sign details
- Exhibit 11: Proposed car wash and sign details
- Exhibit 12: Approved site plan, K-1083

STAFF COMMENTS

Core States Engineering, on behalf of Sunoco Inc., has submitted this Amendment to Final Plan request for service station and signage changes at 121 Kentlands Boulevard. This property is located on the corner of Kentlands Boulevard and Great Seneca Highway in the Kentlands Square shopping center (Exhibit #2). The Planning Commission approved the original site plan, K-1083, in August of 1997. The site is currently operating as a Mobil gas station with a convenience store and onsite car wash.

Sunoco Inc. has retained ownership of the service station and is in the process of converting the existing Mobil into a Sunoco. This has resulted in the proposal of signage and façade changes to incorporate the Sunoco brand image.

The existing monument sign, identifying the service station, is approximately 150 square feet (10 feet high and 15 feet wide). According to §24-212(r)(3)(i) of the City Code:

"One monument sign depicting the brand of gasoline and the state pricing signage is permitted. All such signs erected or structurally altered after the effective date of this article, shall be no higher than eight (8) feet and no wider than ten (10) feet."

The applicant has decreased the amount of square footage so that the monument sign is now in compliance with the City's recently adopted Sign Ordinance. The monument sign proposed is 80 square feet (8 feet high and 10 feet wide).

A majority of the signs to be replaced are approximately the same size as the exiting Mobil signage. This includes the signs on the canopies, carwash, and convenience store. These signs are internally lit box signs with opaque backgrounds, to give the appearance that only the letters and/or logos are lit. The same lighting mechanism applies to the monument sign.

Additional changes to the canopies, carwash, and convenience store are the proposed painted fascia bands to be installed. These blue, yellow, orange, and red fascia bands are a part of the Sunoco brand logo (see Exhibit #8). The bands will not be lit. It should be noted that a fascia band will not be installed on the rear elevation of the convenience store, facing Kentlands Boulevard. The only apparent change to this elevation would be a replacement sign (see Exhibit #8, Elevation C).

Staff is requesting the applicant revise the Proposed Sign Schedule (Exhibit #6) to reflect the correct number of "A-Plus building graphics" signs. While the schedule proposes only one, the elevations show the signs in two different locations (the right and left side of the convenience store, Elevations B and D, Exhibit #8). This will increase the total amount of sign square footage to approximately 213 square feet on site (the maximum allowed is 500).

Staff finds AFP-06-010 to be in conformance with Section 24-170, 172, and 212 of the City Code and recommends approval with the following condition:

1. The applicant shall revise the sign schedule to reflect the correct number of signs to be located on the property.

AMENDMENT TO FINAL PLAN APPLICATION

Application #	AFP-06-010
Date Filed	3-10-06
Total Fee	\$5000.00

In accordance
with Section 24, Article V of the City Code

1. SUBJECT PROPERTY

Project Name Sunoco Conversion

Street Address 121 Kentland's Boulevard

Zone _____ Historic area designation ☐ Yes ☒ No

Lot 4 Block Q Subdivision 272

Tax Identification Number (MUST BE FILLED IN) 09-03203847

2. APPLICANT

Name Core States Engineering

Street Address 44355 Premier Plaza Suite No. 240

City Ashburn State VA Zip Code 20147

Daytime Telephone 703-723-9145

3. ARCHITECT/ENGINEER/DEVELOPER

Architect's Name _____

Architect's Maryland Registration Number _____ Telephone _____

Street Address _____ Suite Number _____

City _____ State _____ Zip Code _____

Engineer's Name Core States Engineering

Engineer's Maryland Registration Number _____ Telephone 703-723-9145

Street Address 44355 Premier Plaza Suite Number 240

City Ashburn State VA Zip Code 20147

Developer's Name _____ Telephone _____

Street Address _____ Suite Number _____

City _____ State _____ Zip Code _____

Contact Person _____ Telephone _____

4. PROPERTY OWNER

Name Sunoco Inc

Street Address 1735 Market Street, 13th Floor Suite No. _____

City Philadelphia State PA Zip Code 19103

Daytime Telephone 215-977-3000

5. CITY PROJECT NUMBER

Original Site Plan Number K-1083 Date Approved _____

Name of previously approved Final Plan Mobil

PENGAD-Bayonne, N. J.
 AFP-06-010
 #1
 7-19-06

6. WORK DESCRIPTION

Please state clearly changes requested from final approved plan.

Reimage existing Mobil gas station to Sunoco. Proposing no structural changes. Changes only to signage and image.

7. PROJECT DETAIL INFORMATION

- a. POPULATION CHANGES (if any) N/A

Changes in population estimated due to amendment.

Employee estimate: Total number

Total number per shift

Resident estimate: Total number

Total number per dwelling unit

- b. PLEASE SUPPLY THE FOLLOWING INFORMATION

DEVELOPMENT INFORMATION		REQUIRED	PROVIDED
1. Site (square feet)			112,371
2. Site Area (acres)			2.57
3. Total Number of Dwelling Units/Lots			1
4. Height of Tallest Building			18'
5. Green Area (square feet)			
6. Number of Dwelling Units/Acre			1
7. Lot Coverage (Percent)			
8. Green Area (Percent)			
9. Residential			
a. Single Family Detached	# Units		
b. Single Family Attached	# Units		
c. Multi-Family Condo	# Units		
d. Multi-Family Apartment	# Units		
e. Other			
10. Retail/Commercial	Sq. Ft. 3168		
11. Restaurant Class: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C	Sq. Ft.		
12. Office/Professional	Sq. Ft.		
13. Warehouse/Storage	Sq. Ft.		
14. Parking			15
15. Shared Parking/Waiver			
16. Other			
17. Total			

SUBMISSION REQUIREMENTS

- Set of plans per the respective checklist. Plans must be folded to 8 1/2 x 11."
- Completion of the table above.

I have read and complied with the submission requirements and affirm that all statements contained herein are true and correct.

Applicant's Name (please print)

Jennifer Ugolick

Applicant's Signature

Jennifer Ugolick

Date

3/10/06

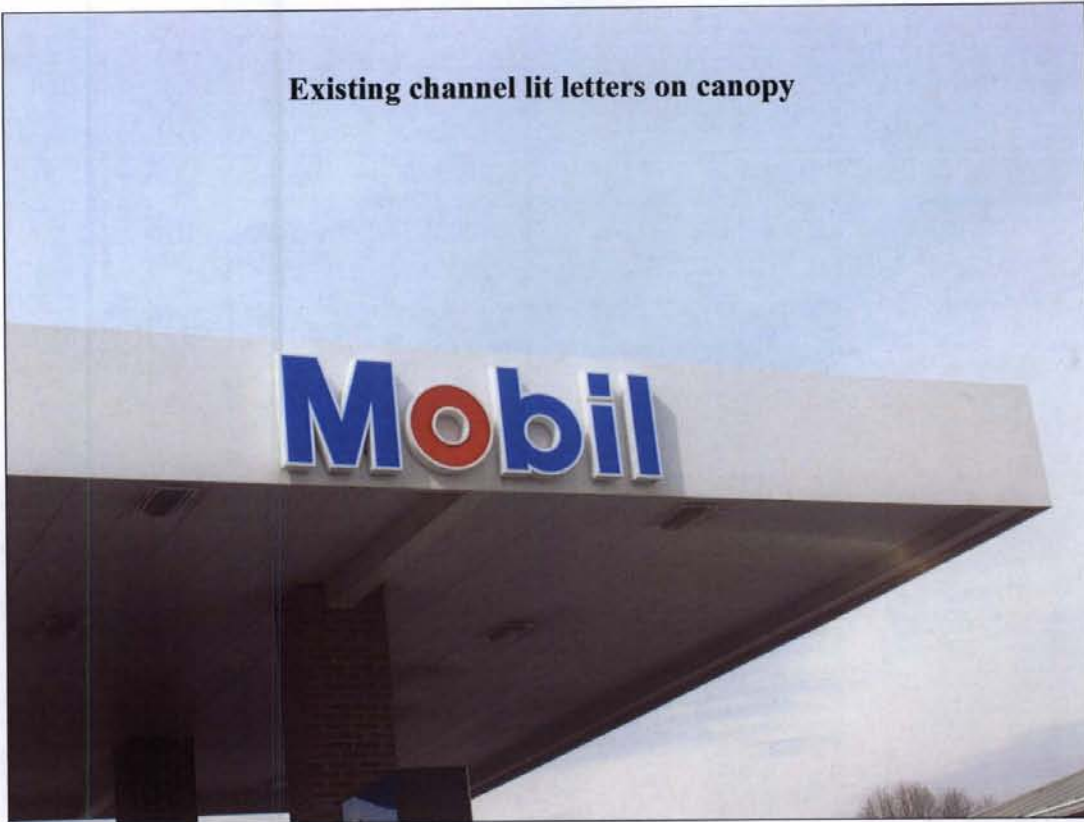
Daytime Telephone

703-723-9145



AFP-06-010
#2
7.19.06

Existing channel lit letters on canopy



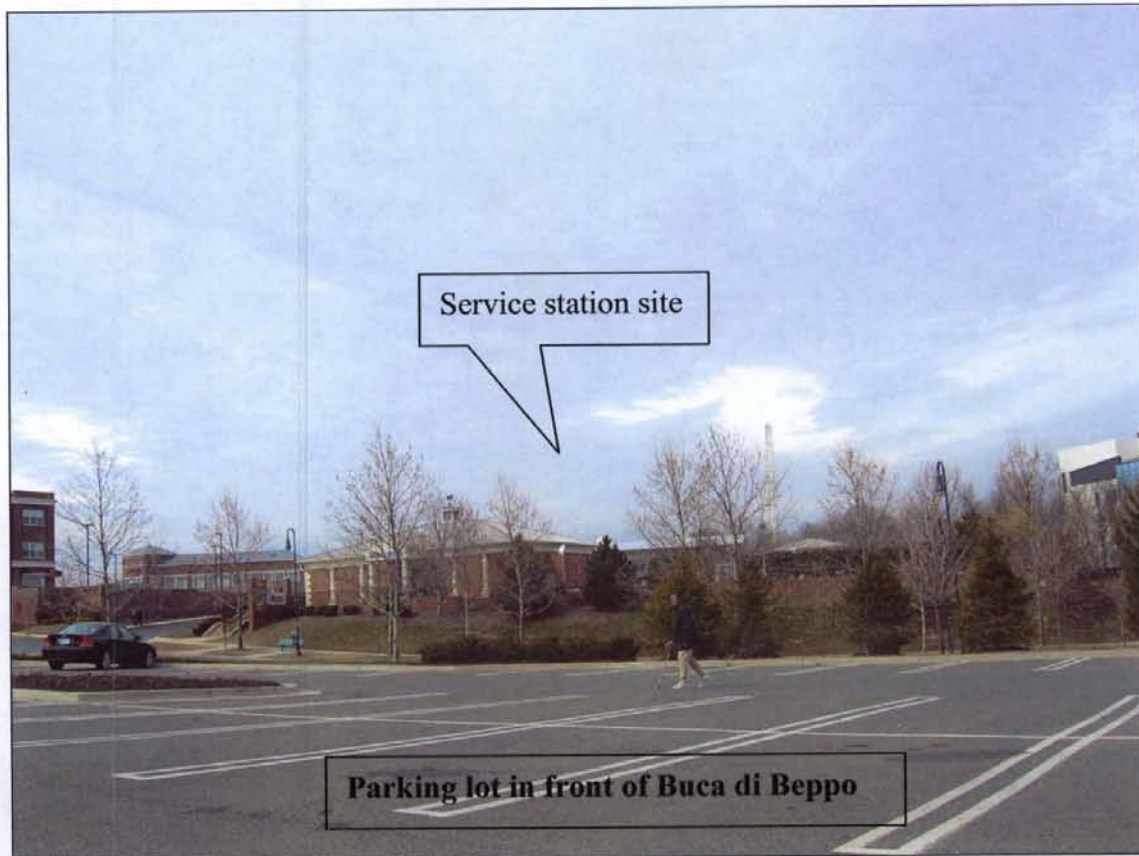
Right side of canopy



PSG/LD-Seymour, N. J.

AFP.06.010
#3
7.19.06

Existing conditions – 121 Kentlands Blvd.



121 Kentlands Blvd. Gaithersburg, MD



→ Regarding the Vie de France ID panel, it has been removed. I went out last week and found it is no longer there and Vie de France in the store is no longer there at week



BEFORE



AFTER

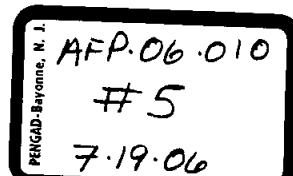
(p) *R-B zone signs:* In the R-B Zone, the total sign area on any lot shall not exceed one (1) square foot for each linear foot of building facing a street, and not more than one (1) square foot of signage for each linear foot of building frontage shall be allowed to face a single side of a building in this zone.

(q) *Roof signs:*

- (1) No sign shall be erected or constructed on the roof of any building including residentially occupied structures.
- (2) For the purpose of this regulation a roof shall be defined as the highest horizontal surface of any building, exclusive of any mechanical equipment structure on said roof.

→ (r) *Service station signs:*

- (1) There shall be a maximum of five hundred (500) square feet of total signage permitted at a single service station, including signage related to brand name (such as on canopy and pumps), pricing, and any accessory uses.
- (2) No more than one service station identification sign is permitted and said sign shall be no higher than six (6) feet in height and no greater than twenty-five (25) square feet in size. The sign must state the name of the service station and may have ancillary signage including, but not limited to, the inspection station number and additional services.
- (3) One monument sign depicting the brand of gasoline and the state pricing signage is permitted.
 - (i) All such signs erected or structurally altered after the effective date of this article, shall be no higher than eight (8) feet and no wider than ten (10) feet.
 - (ii) Each monument sign erected or structurally altered after the effective date of this article shall be no greater than eighty (80) square feet in size, including the state-required pricing signage.
 - (iii) All such signs erected prior to the effective date of this ordinance which are greater than eight (8) feet in height are permitted to remain unless modified in any way that requires the issuance of a permit, in which case they shall be required to conform to this ordinance.
 - (iv) Only one additional monument sign may be permitted, if the station is located on a through lot as defined in section 24-1.



- (4) In addition to the maximum amount of signage permitted in subsection 24-212(r)(1) above, one promotional banner not exceeding forty-eight (48) square feet shall be permitted at all times and can only be attached to the pump canopy and its supports, a kiosk or a station house, and must not interfere with pedestrian walkways. Section 24-211(a) does not apply to these banners.
 - (5) Exterior merchandise displays are prohibited except that vending machines bearing product identification shall be permitted within an enclosed area or adjacent to a building wall and auto-related products or soft drinks only can be displayed in the vicinity of the pump islands, station house or kiosk. Subsection 24-210A(i) does not apply to signs on such displays. Such displays must not impede vehicular or pedestrian traffic.
- (s) *Window signs:*
- (1) Signs shall be permitted inside a window so as to be visible from the outside of the building without reference to the area limitation contained in subsection 24-212(c); provided, that the total area of each window sign shall not exceed fifty (50) percent of the total window area of each individual window, and the total area and all window signs shall not exceed the maximum allowable permanent signage permitted by this article.
 - (2) The provisions of this subsection shall also apply to messages painted on a window, such messages to be considered a "window sign" under this subsection.
 - (3) Signs advertising charitable organizations, events or activities shall not be included in the regulations contained in this section.
 - (4) No exterior window signs are permitted.
 - (5) Neon signs are covered by the provisions of subsection 24-212(t).
 - (6) A permit is not required for window signs which are placed on the inside of a window.
- (t) *Window neon signs:*
- (1) Neon signs located inside a window and visible from the exterior may be located within each individual business location and must be set back a minimum of six (6) inches from the window to prevent glare.
 - (2) Neon signs will be limited to a total area of five (5) square feet for each business location and will be included in the total allowable signage for the building and windows.

SUNOCO CONVERSION

DUNS #0622-4380 (5161)
121 KENTLANDS BLVD.
GAITHERSBURG, MD.

SHEET 1 - TITLE SHEET AND SIGN SCHEDULES
SHEET 2 - EXISTING SITE PLAN AND EXISTING PHOTOS
SHEET 3 - PROPOSED SITE PLAN AND PROPOSED ELEVATIONS
SHEET 4 - PROPOSED BUILDING & SIGN & ID DETAILS
SHEET 5 - PROPOSED CANOPY & SIGN DETAILS
SHEET 6 - PROPOSED CAR WASH & SIGN DETAILS

EXISTING SIGN SCHEDULE						
MARK	DESCRIPTION	SIZE	AREA	QTY.	TOTAL SF	ILLUM'D.
1	ID SIGN	3'-2"(H) x 7'-6"(W)	23.75 SF	1	23.75 SF	YES
2	MART PANEL	2'-6"(H) x 4'-8"(W)	11.67 SF	1	11.67 SF	YES
3	PRICE SIGN	4'-3"(H) x 4'-8"(W)	19.83 SF	1	19.83 SF	YES
4	"Vie de France" SIGN	3'-2"(H) x 7'-6"(W)	23.75 SF	1	23.75 SF	YES
5	WASH SIGN	1'-4"(H) x 4'-8"(W)	6.22 SF	1	6.22 SF	YES
6	CANOPY SIGNS	3'-0"(H) x 8'-0"(W)	24.00 SF	2	48.00 SF	YES
7	BUILDING MOBIL MART SIGN	2'-0"(H) x 15'-0"(W)	30.00 SF	2	60.00 SF	YES
8	BUILDING SIGN PANEL	3'-2"(H) x 7'-6"(W)	23.75 SF	1	23.75 SF	YES
9	CAR WASH SIGN	2'-0"(H) x 20'-8"(W)	41.33 SF	1	41.33 SF	YES
10	CAR WASH SNAPLOCK	2'-0"(H) x 4'-0"(W)	8.00 SF	1	8.00 SF	NO
TOTAL					266.30 SF	

PROPOSED SIGN SCHEDULE						
MARK	DESCRIPTION	SIZE	AREA	QTY.	TOTAL SF	ILLUM'D.
1	ID SIGN	3'-6"(H) x 5'-0"(W)	17.50 SF	1	17.50 SF	YES
2	A-PLUS PANEL	1'-5"(H) x 5'-0"(W)	7.08 SF	1	7.08 SF	YES
3	PRICE SIGN	3'-6"(H) x 5'-0"(W)	17.50 SF	1	17.50 SF	YES
4	CAR WASH PANEL	1'-5"(H) x 5'-0"(W)	7.08 SF	1	7.08 SF	YES
5	SUNOCO CANOPY SIGNS	1'-9"(H) x 11'-3"(W)	19.89 SF	2	39.38 SF	YES
6	A-PLUS BUILDING SIGN	3'-6"(H) x 7'-0"(W)	24.50 SF	2	49.00 SF	YES
7	GULLIVERS COFFEE	4'-6"(H) x 5'-4"(W)	24.00 SF	1	24.00 SF	YES
8	CAR WASH SIGN	1'-6"(H) x 18'-0"(W)	19.50 SF	1	19.50 SF	YES
9	"ENTER" SIGN	9"(H) x 3'-3"(W)	2.44 SF	1	2.44 SF	NO
10	"EXIT" SIGN	9"(H) x 2'-5"(W)	1.81 SF	1	1.81 SF	NO
11	A-PLUS BUILDING GRAPHICS	2'-6"(H) x 5'-4"(W)	13.33 SF	1	13.33 SF	NO
12						
TOTAL					198.62	

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF
SUNOCO, INC. USE, REPRODUCTION OR ALTERATION OF
THIS DRAWING WITHOUT THE EXPRESSED WRITTEN PERMISSION
OF SUNOCO, INC. IS PROHIBITED.

Address:	SUNOCO INC. PHILADELPHIA, PA. 19103-1699	Rev. #	Date	Description	Issued for
Project:	SUNOCO - 0622-4380 121 Kentlands Blvd - Gaithersburg, MD 20878 (5161)	1	05 24 06	ID Monument Changes	-
Title:	Title Sheet & Signage Schedule	2	05 25 06	Landscape Removal	-
		3	06 29 06	Client Comments	
		4	07 12 06	City Comments	

CORE STATES

ENGINEERING

44355 Premier Plaza, Suite 240
Arlington, VA 22204
703-723-5146 fax 703-723-9637
ccstates@core-eng.com

SUN-3551

Scale: As Noted

Date: 08/16/05

Drawn By: KLL

Checked By: JLU

Documents prepared by Core States Engineering are to be used only for the specific project and are not to be used for any other projects, by owner or any other party, without the expressed, written consent of Core States Engineering. Core States Engineering is not responsible for any claims, damages, or losses that may result from the use of this drawing without the expressed, written consent of Core States Engineering.

PENGAD-Bayonne, N. J.
AFP.06.010
#6
7.19.06



Elevation A
EXISTING BUILDING FRONT ELEVATION



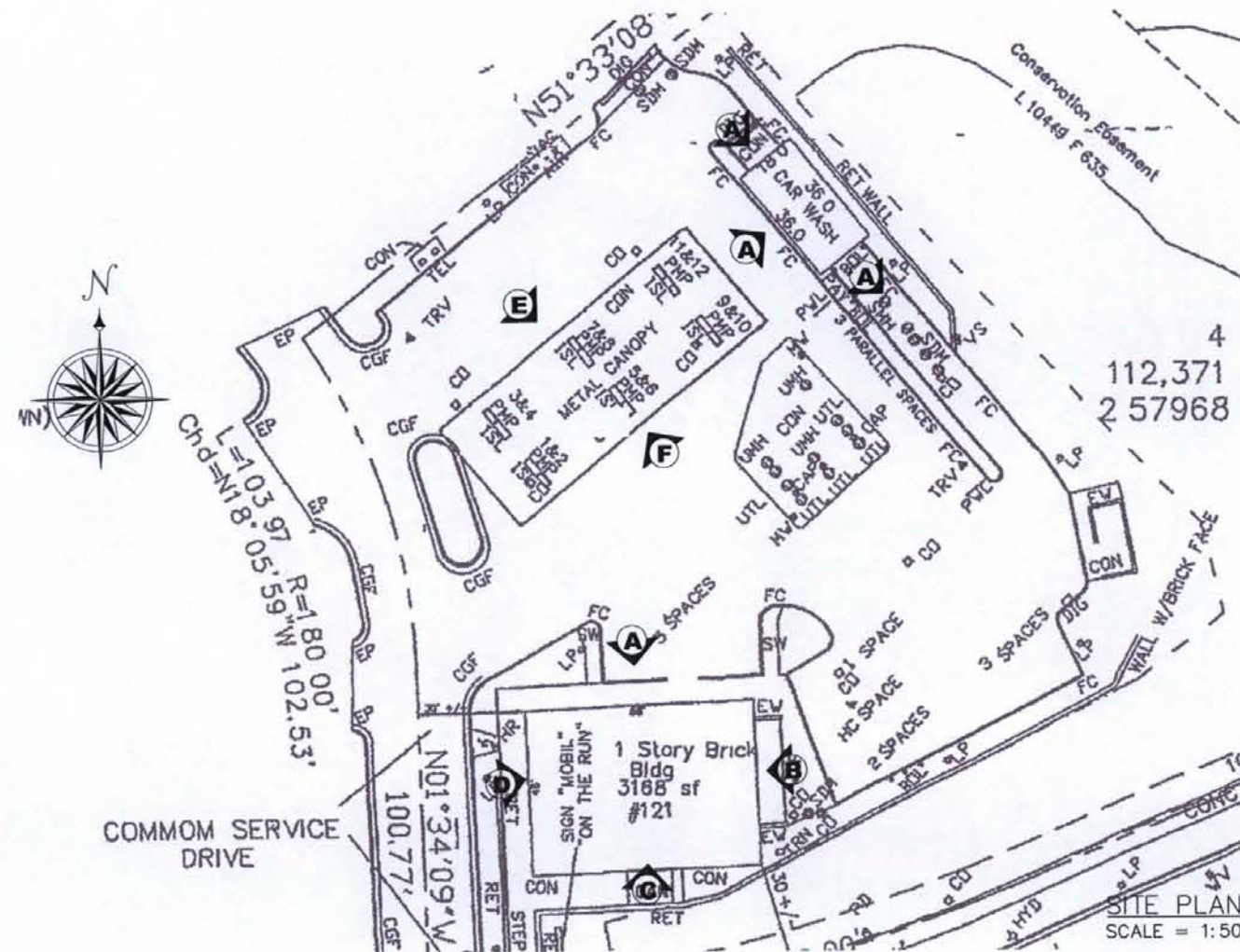
Elevation B
EXISTING BUILDING RIGHT SIDE ELEVATION



Elevation C
EXISTING BUILDING REAR ELEVATION



Elevation D
EXISTING BUILDING LEFT SIDE ELEVATION



Elevation E
EXISTING CANOPY FRONT ELEVATION



Elevation F
EXISTING CANOPY REAR ELEVATION



Elevation G
EXISTING CAR WASH FRONT ELEVATION



Elevation H
EXISTING CAR WASH ENTRANCE ELEVATION



Elevation I
EXISTING CAR WASH EXIT ELEVATION



Elevation J
EXISTING PRICE MONUMENT

Rev. #	Date	Description	Issued for
1	05/24/06	ID Monument Changes	-
2	05/25/06	Landscape Removal	-
3	06/20/06	Client Comments	-
4	07/12/06	City Comments	-

Address:	SUNOCO INC. PHILADELPHIA, PA. 19103-1699
Project:	SUNOCO - 0622-4380 121 Kenilands Blvd - Gaithersburg, MD 20878 (5161)
Title:	Existing Site Plan & Existing Photos

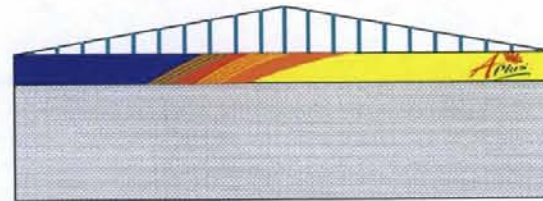
Job#:	SUN-3551
Scale:	AS SHOWN
Date:	9/01/05
Drawn By:	KLL
Checked By:	JLU

Documents prepared by Core States Engineering, Inc. are for the sole use of the client and are not to be used for any other project. Any extension of use to other projects, by owner or any other party, without the written consent of Core States Engineering, Inc., is prohibited. Engineering is done at the user's own risk. It is used in a way other than that specifically intended, user assumes all liability for damages and losses.

APP-06-010
#7
7.19.06



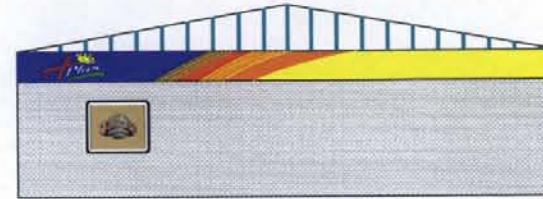
Elevation A
PROPOSED BUILDING FRONT ELEVATION



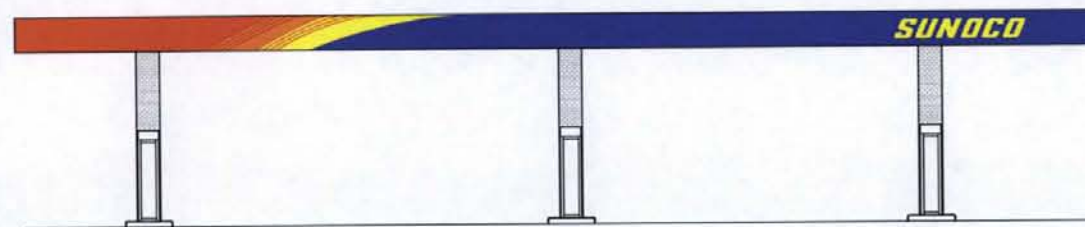
Elevation B
PROPOSED BUILDING LEFT SIDE ELEVATION



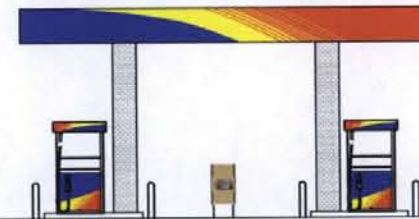
Elevation C
PROPOSED BUILDING BACK ELEVATION



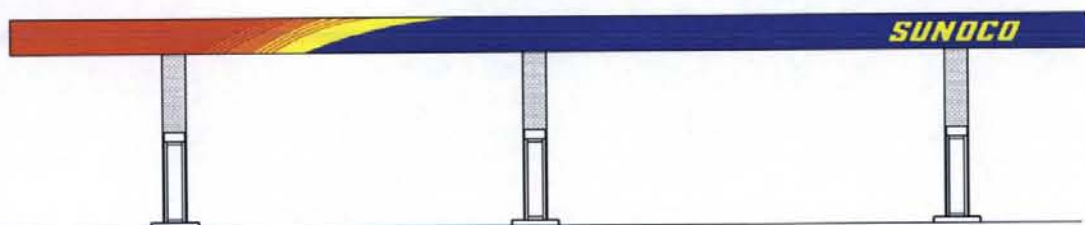
Elevation D
PROPOSED BUILDING RIGHT SIDE ELEVATION



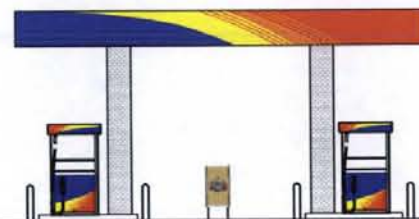
Elevation E
PROPOSED CANOPY FRONT ELEVATION



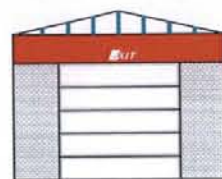
Elevation F
PROPOSED CANOPY RIGHT SIDE ELEVATION



Elevation G
PROPOSED CANOPY BACK ELEVATION



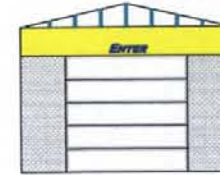
Elevation H
PROPOSED CANOPY LEFT SIDE ELEVATION



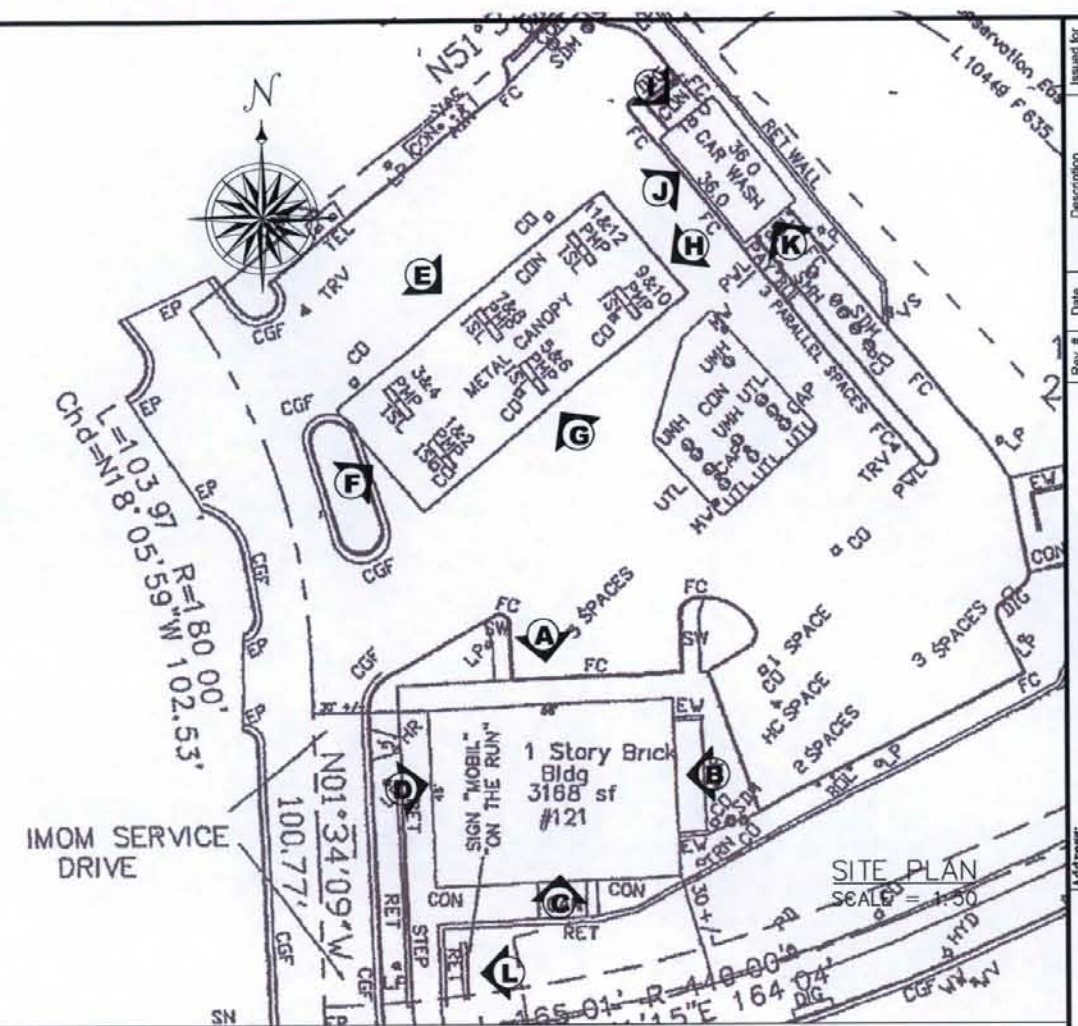
Elevation I
PROPOSED CAR WASH EXIT ELEVATION



Elevation J
PROPOSED CAR WASH FRONT ELEVATION



Elevation K
PROPOSED CAR WASH ENTRANCE ELEVATION



Regular	2.17 ⁹	
Plus	2.27 ⁹	
Ultra 93	2.37 ⁹	
		CAR WASH

Elevation L
PROPOSED PRICE MONUMENT

Rev #	Date	Description
1	05/24/06	ID Monument Changes
2	05/25/06	Landscaping Removal
3	06/29/06	Client Comments
4	07/12/06	City Comments

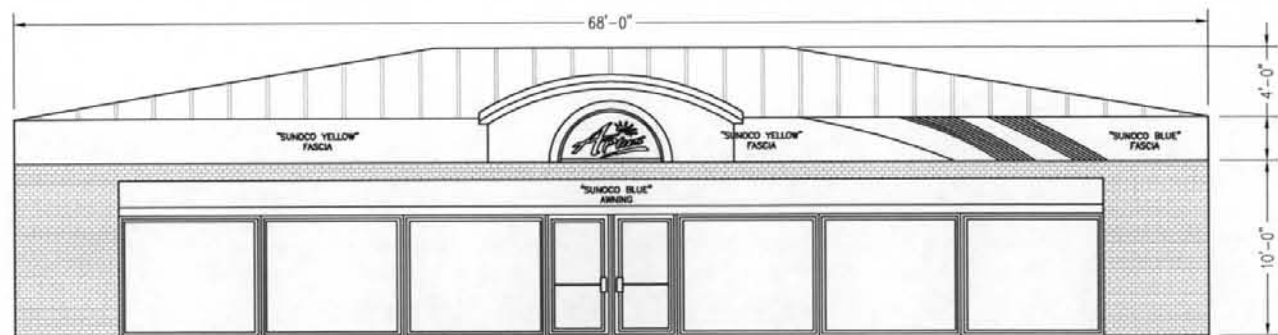
Address: **SUNOCO INC.**
PHILADELPHIA, PA. 19103-1699
Project: **SUNOCO - 0622-4380**
121 Kentlands Blvd - Gaithersburg, MD 20878 (5161)
Title: **Proposed Site Plan & Elevations**

CORE STATES
ENGINEERING
Arlington, VA 22204
703-723-8145 fax 703-723-9657
corestateseng.com

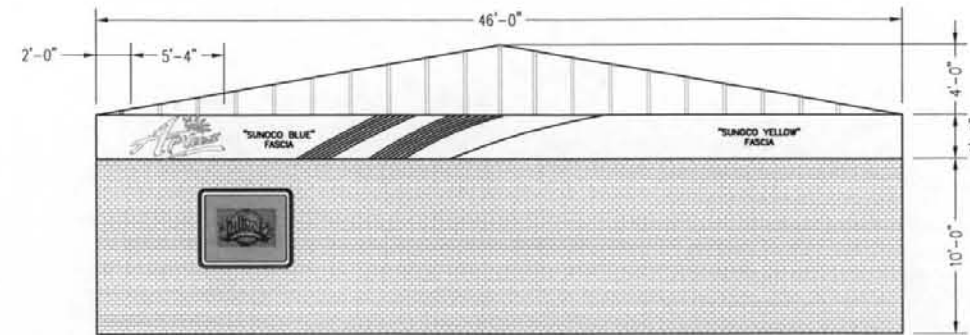
Job#: SUN-3551
Scale: As Noted
Date: 9/01/05
Drawn By: KLL
Checked By: JLU

Documents prepared by Core States Engineering are to be used only for the specific project and for the specific use for which they are prepared. No other use, reproduction, or other project, by owner or any other party, without the expressed, written consent of Core States Engineering is permitted. Core States Engineering is not responsible for any errors or omissions in this document. User will hold Core States Engineering harmless from all claims and losses.

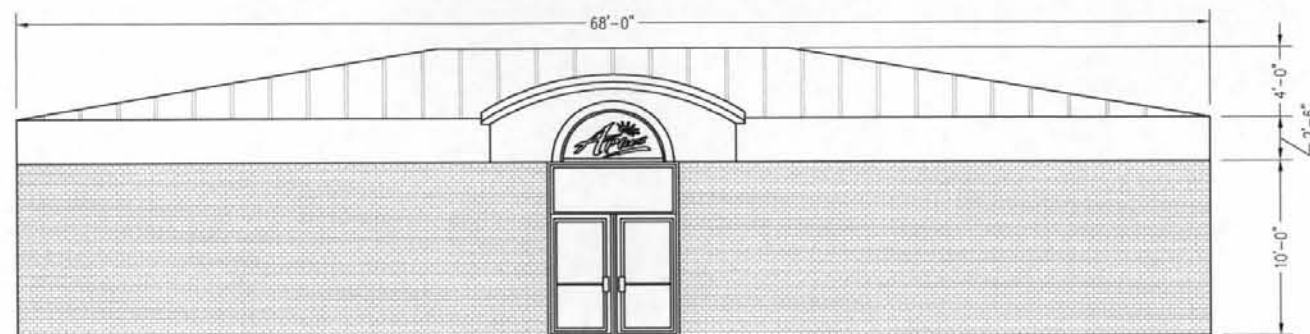
PENALTY: \$100,000.00
#8
7.19.06



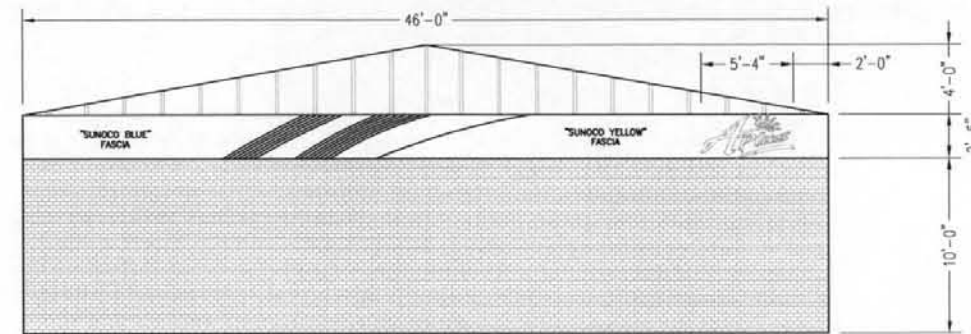
PROPOSED BUILDING FRONT ELEVATION
SCALE: 3/32" = 1'-0"



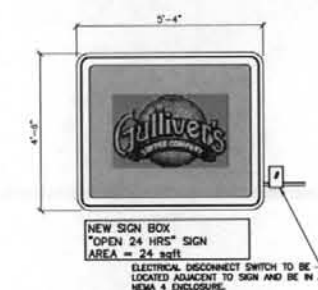
PROPOSED BUILDING RIGHT SIDE ELEVATION
SCALE: 3/32" = 1'-0"



PROPOSED BUILDING REAR ELEVATION
SCALE: 3/32" = 1'-0"



PROPOSED BUILDING LEFT SIDE ELEVATION
SCALE: 3/32" = 1'-0"

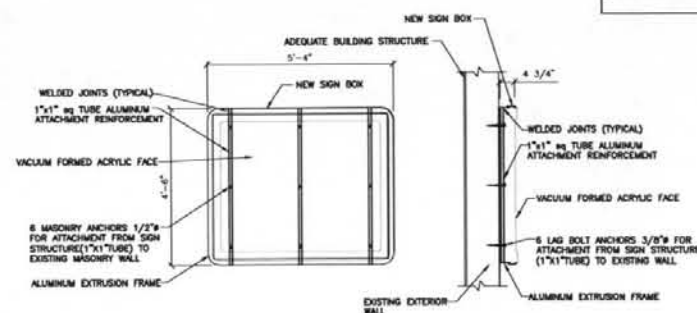


PROPOSED BUILDING WALL SIGN
SCALE: 3/16" = 1'-0"

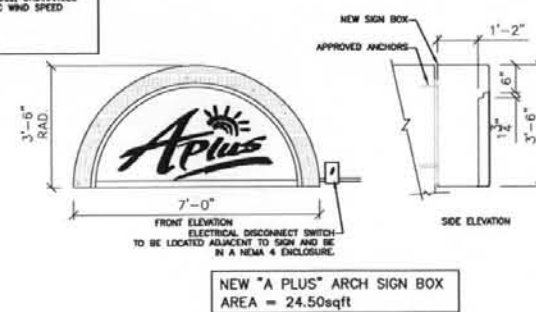


PROPOSED FASCIA APLUS GRAPHIC
SCALE: 3/16" = 1'-0"

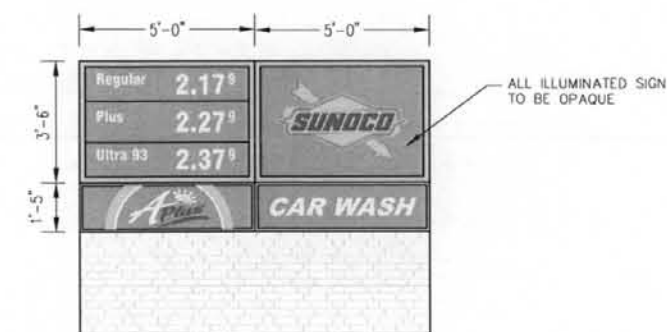
- NOTES:**
- 1) SIGN AND FRAME TO BE DESIGNED AND CONSTRUCTED FOR 140 MPH WIND LOAD MIN. THIS SIGN HAS BEEN DESIGNED IN ACCORDANCE TO ALL CODES, ORDINANCES AND IN AGREEMENT TO THE STANDARD BUILDING CODE AND BASIC WIND SPEED.
 - 2) ALL ILLUMINATED SIGNS TO BE OPAQUE.



PROPOSED BUILDING WALL SIGN ATTACHMENT DETAIL
SCALE: 3/16" = 1'-0"



PROPOSED 7' ILLUMINATED ARCH
SCALE: 3/16" = 1'-0"



PROPOSED PRICE MONUMENT
SCALE: 3/16" = 1'-0"

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF SUNOCO, INC. USE, REPRODUCTION OR ALTERATION OF THIS DRAWING WITHOUT THE EXPRESSED WRITTEN PERMISSION OF SUNOCO, INC. IS PROHIBITED.

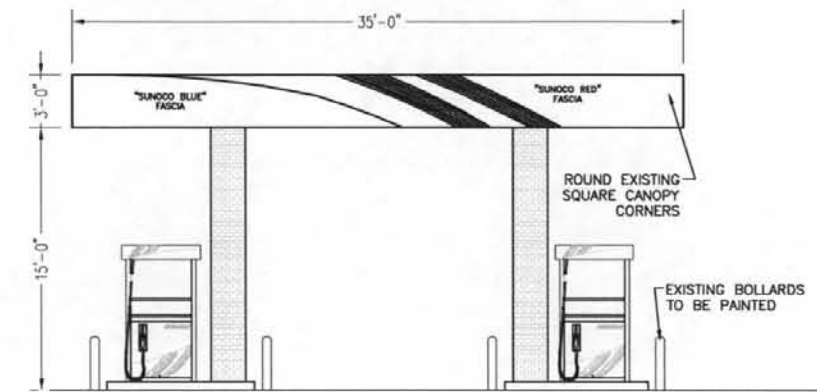
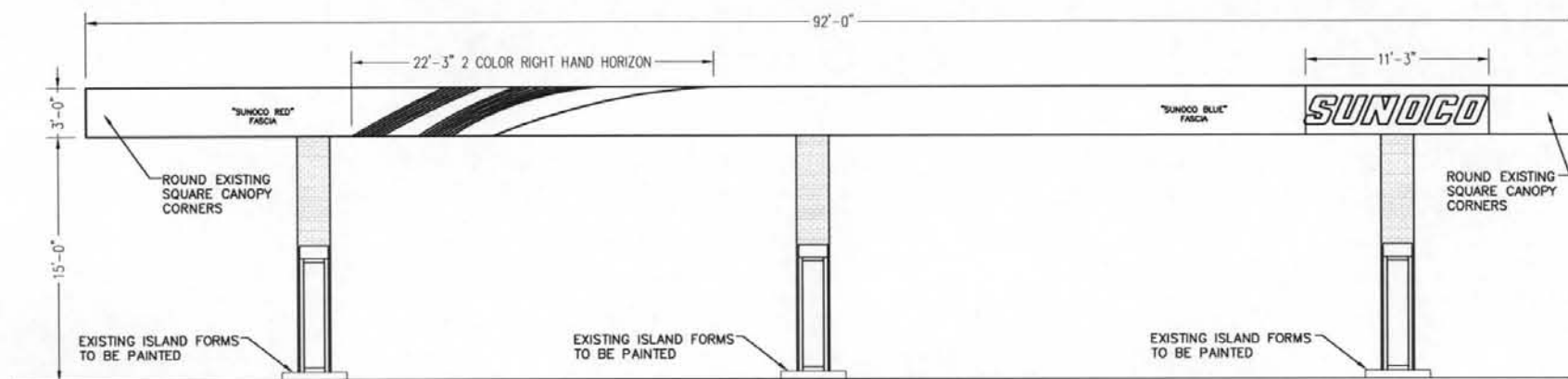
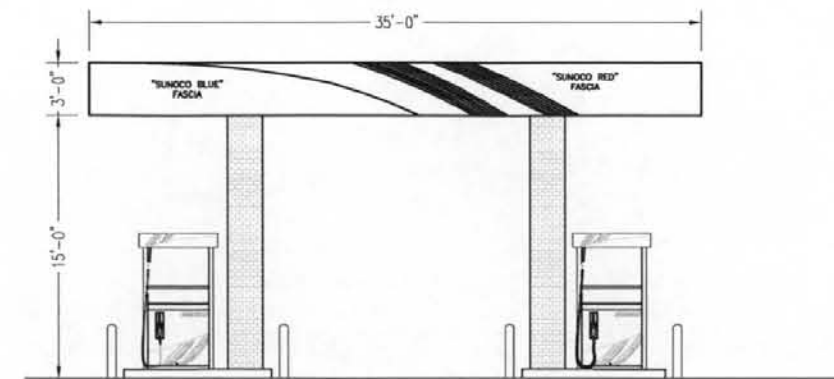
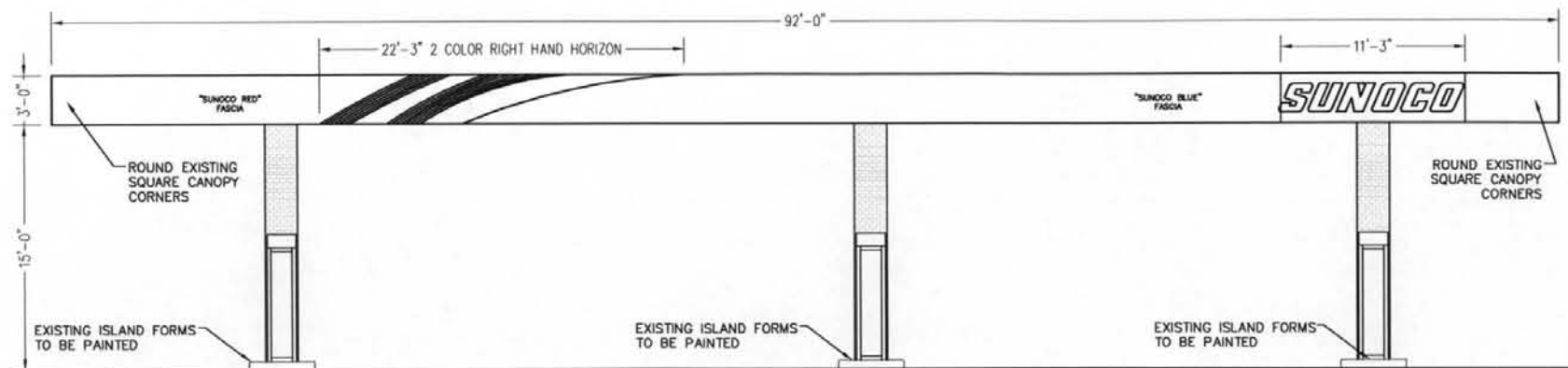
Rev. #	Date	Description	Issued for
1	05/24/06	ID Monument Changes	-
2	05/25/06	Landscape Removal	-
3	06/29/06	Client Comments	-
4	07/12/06	City Comments	-

Address:	SUNOCO INC. PHILADELPHIA, PA. 19103-1699
Project:	SUNOCO - 0622-4380 121 Kentlands Blvd - Gaithersburg, MD 20878 (5161)
Title:	Proposed Building & Sign & ID Details

Job#:	SUN-3551
Scale:	As Noted
Date:	9/01/05
Drawn By:	KLL
Checked By:	JLU

Documents prepared by Core States Engineering are to be used only for the specific project and for the specific use for which they are intended. They are not to be used in any other project, by owner or any other party, without the expressed, written consent of Core States Engineering. It is the user's responsibility to ensure that the user will hold Core States Engineering harmless from all claims and losses.

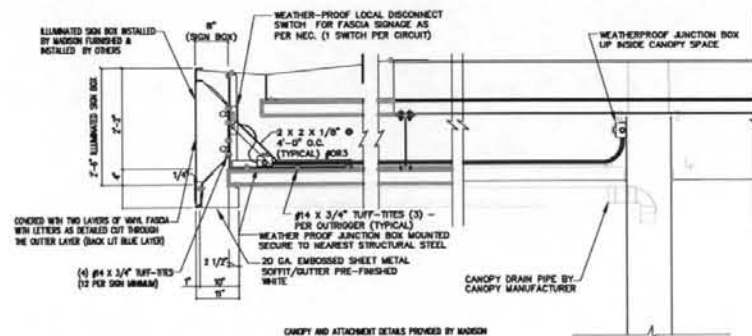
PENGAD-Bayonne, N. J.
AFP-06-010
#9
7.19.06



NEW "SUNOCO" SIGN BOX
 AREA = 19.69 sqft
 (2) SIGN REQUIRED ON CANOPY
 ALL ILLUMINATED SIGNS TO BE
 OPAQUE

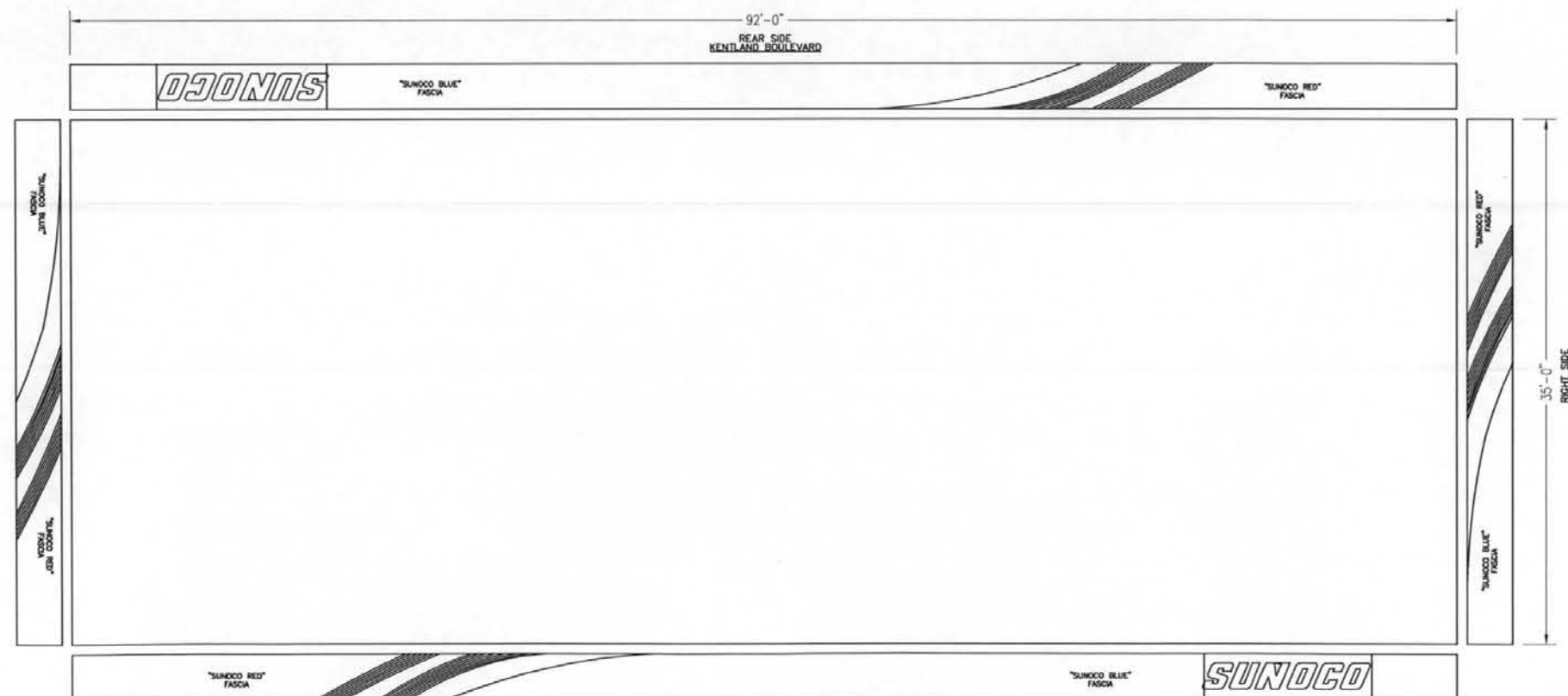
PROPOSED CANOPY SIGN

SCALE: 1/4" = 1'-0"



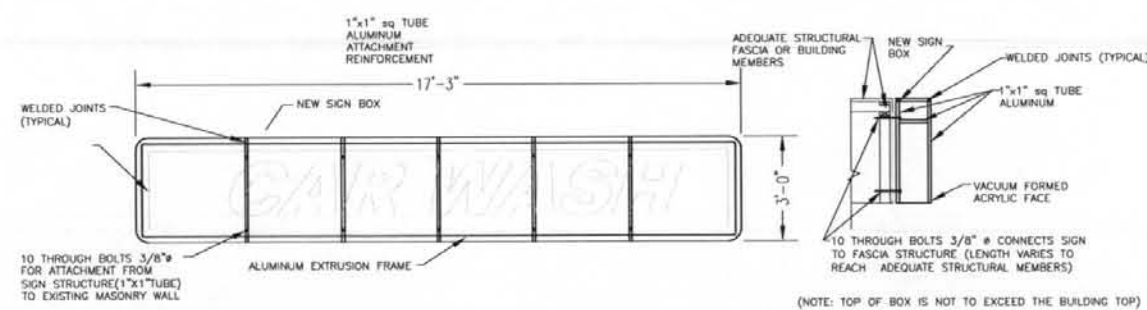
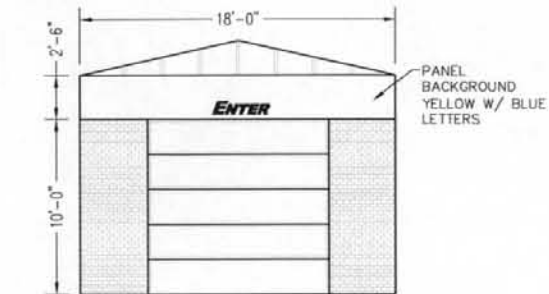
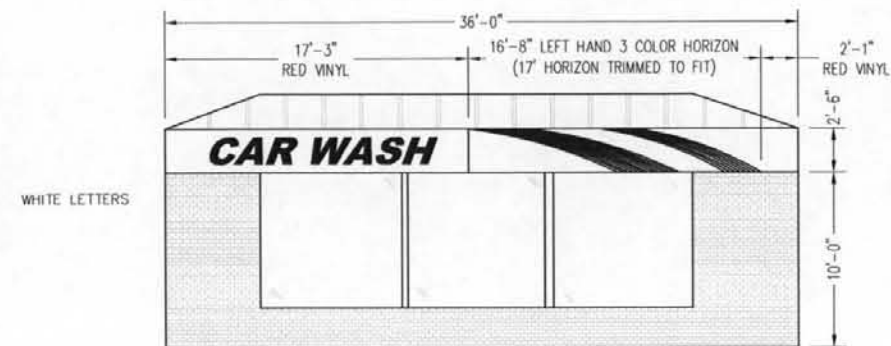
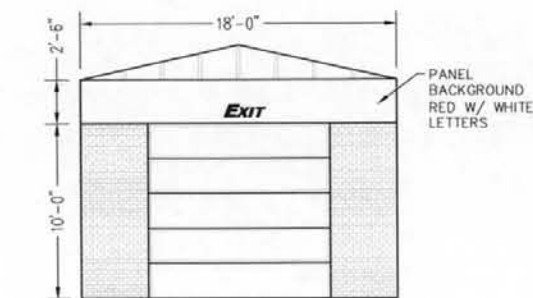
PROPOSED NEW CANOPY SIGN ATTACHMENT DETAILS-SECTION

SCALE: 1/4" = 1'-0"



FRONT SIDE
 PR. CANOPY SIGNS
 SCALE: 3/32" = 1'-0"

AFP-06-010
 #10
 7.19.06



Address:		Rev. #	Date	Description	Issued for
SUNOCO INC. PHILADELPHIA, PA. 19103-1699		1	05 24 06	ID Monument Changes	-
		2	05 25 06	Landscape Removal	-
		3	06 26 06	Client Comments	
Project:		4	07 12 06	City Comments	
SUNOCO - 0622-4380 121 Kentlands Blvd - Gaithersburg, MD 20878 (5161)					
Title:					
Proposed Car Wash & Sign Details					

CORE STATES
ENGINEERING
44355 Premier Plaza, Suite 240
Ashburn, VA 20147
703-723-9145 fax 703-723-9857
dstell@core-eng.com

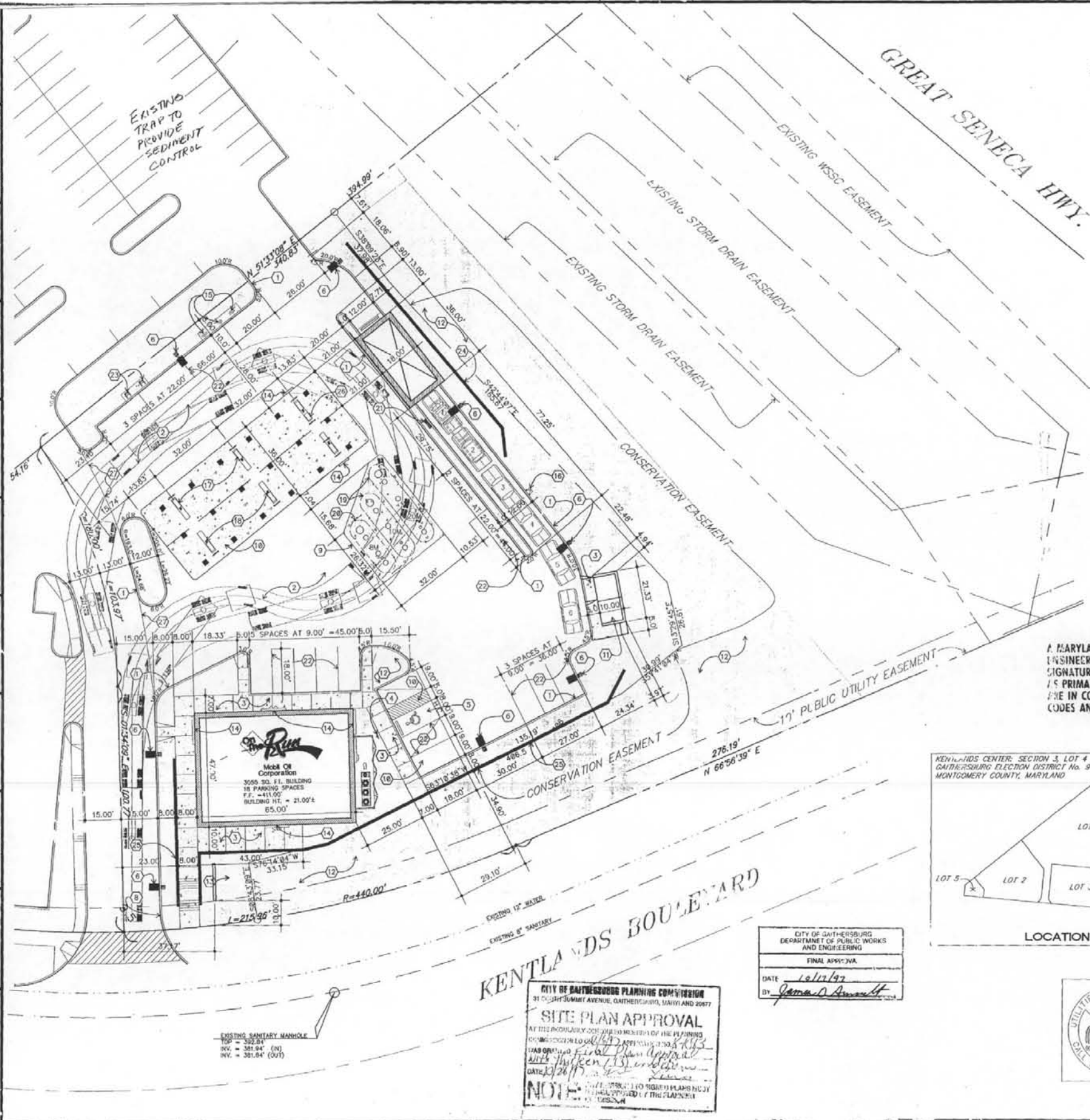
Documents prepared by Core States Engineering are to be used only for the specific project and not for any other project, by extension or any other projects, by owner or any other party, without the expressed, written consent of Core States Engineering. This document is a work product specifically intended, user of this work shall be held harmless from all claims and losses.	Job#: SUN-3551 Scale: As Noted Date: 9 01 05 Drawn By: KLL Checked By: JLU
---	--

[illegible]

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF
SUNOCO, INC. USE, REPRODUCTION OR ALTERATION OF
THIS DRAWING WITHOUT THE EXPRESSED WRITTEN PERMISSION
OF SUNOCO, INC. IS PROHIBITED.

AFB-06-010
#11
7-19-06

MASTERS DATE 08-11-97
MECHANICAL DISTRICT A NW-CONDITION A
PLUMBING MARYLAND
STRUCTURAL HP STANDING SEAM
BACKDOOR WITH
FASCOA - FINISH ELFS
BLDO - FINISH B'KCI
JOINT VENTURE VIE DE FRANCE
SECURITY 4' NON-SECURE WITHOUT
RESTROOMS BOCA
SITE SPECIFIC INFORMATION



S-10-9-4
for *Conservation*
and *water* *conservation* *requirements*
Date 10-11-97
Signature *[Signature]*
Title *Conservation Reviewer*

KEYED NOTES

- 6" CURB AND GUTTER PER DETAIL C1.1-81
- NEW ASPHALTIC CONCRETE PAVING, SEE DETAIL C1.1-82
- CONCRETE SIDEWALK, SEE DETAIL C1.1-83
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL 1 POST FOR HANDICAP PARKING SIGNS. SIGNS PROVIDED BY GENERAL CONTRACTOR TO MEET LOCAL REQUIREMENTS, SEE DETAIL C1.1-84
- SLOPE ASPHALT UP TO TOP OF SIDEWALK (MAX. 1:50), AT HANDICAP SPACE ONLY. INCLUDE PARKING BLOCK. SEE DETAIL C1.1-85
- SITE LIGHTS, CONTROLS, AND POWER BY GENERAL CONTRACTOR. SEE SHEETS C3 AND C5.
- NOTE NOT USED
- TAPER LAST 10' OF 6" CONCRETE CURB FROM TYPICAL CURB DETAIL TO MEET AND MATCH CONFIGURATION AND ELEVATION OF EXISTING ADJOINING CURB OR PAVEMENT.
- 8" CONCRETE SLAB WITH 5x5 - W2.9 x W2.9 WOVEN WIRE FABRIC, ALLOW 3" CLEAR FROM ALL EDGES.
- PAINTED YELLOW STRIPING TO DELINEATE LOADING AREA
- TRASH/STORAGE ENCLOSURE, SEE SHEET C1.2
- SOO/LANDSCAPING, SEE SHEET L1.
- PROPOSED SITE SIGN. VERIFY SIZE AND LOCATION WITH MOBIL REPRESENTATIVE.
- BUILDING SIGNS. VERIFY SIZE WITH MOBIL REPRESENTATIVE.
- AIR/ VACUUM SYSTEM ON 4" 8" x 8" CONCRETE PAD.
- VENT RISER AND BUMPER.
- MULTI-PRODUCT DISPENSER TYPICAL OF (6)
- 2A10BC FIRE EXTINGUISHER, ONE (1) AT EACH DISPENSER.
- (1) 10M AND (1) 20M UNDERGROUND DOUBLE WALL FIBERGLASS STORAGE TANKS WITH VAPOR RECOVERY SYSTEM.
- (1) 8M UNDERGROUND DOUBLE WALL FIBERGLASS STORAGE TANK (DIESEL)
- CARWASH INSTRUCTION/COIN BOX
- PAINTED YELLOW STRIPING
- TELEPHONE BOOTHS
- RETAINING WALL (HEIGHT VARIES FROM 3'-6") SEE DETAIL C1.1-87
- RETAINING WALL WITH BRICK VENEER AND HANDRAIL SEE DETAIL C1.1-88 (HEIGHT VARIES FROM 2'-8")
- SINGLE HOSE DIESEL DISPENSER TYPICAL OF (1)
- LIMITS OF ASPHALT PAVING (ROAD CONSTRUCTION BY DEVELOPER)

PARKING TABULATION

REQUIRED PARKING = CONVENIENCE STORE = 1 SPACE PER 200 S.F.
3055 SQUARE FOOT BUILDING
3055 S.F. / 200 = 15 SPACES

PROVIDED PARKING = 16 SPACES + 1 H.G. SPACE
= 17 SPACES TOTAL

STAKING NOTES

- THE BUILDING AND PARKING ARE PERPENDICULAR AND/OR PARALLEL TO S0134°09'E, N66°56'39"E, AND N51°33'08"E
- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES, EASEMENTS & LEGAL DESCRIPTION IS AS TAKEN FROM A SURVEY OF LAND SITUATED IN SECTION 3, LOT 4 OF CITY OF GAITHERSBURG ELECTION DISTRICT No.9 KENTLANDS CENTER, MONTGOMERY COUNTY MARYLAND

AS PREPARED BY: SUMNER CONSULTING
3150 KIRKWOOD CIRCLE
HERNDON, VA 20171
(703) 481-9281

SITE DATA

PROPOSED USE: SERVICE STATION
SECTION 3, LOT 4 OF CITY OF GAITHERSBURG ELECTION DISTRICT No.9 KENTLANDS CENTER, MONTGOMERY COUNTY MARYLAND
TOTAL PARCEL SIZE: 2.579 ACRES

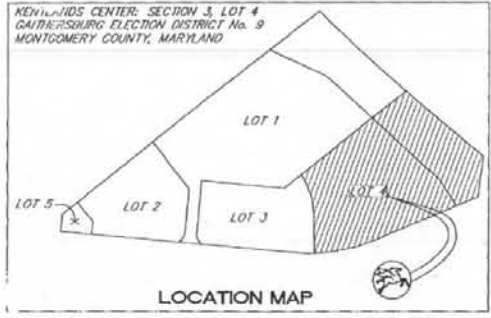
PRE-DEVELOPED:
BUILDING AREA: 0.00 ACRES
GREEN AREA: 2.579 ACRES
IMPERVIOUS AREA: 0.00 ACRES

POST-DEVELOPED:
BUILDING AREA: 0.0701 ACRES
GREEN AREA: 1.4189 ACRES
IMPERVIOUS AREA: 1.09 ACRES

BUILDING DATA

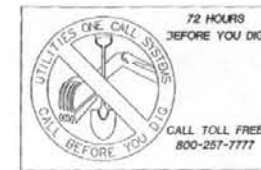
CONVENIENCE STORE:
BUILDING AREA: 3055 S.F.
BUILDING HEIGHT: 21'-4" MAX.
CONSTRUCTION TYPE: MASONRY

A MARYLAND REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT SEAL AND SIGNATURE ON PLANS WILL BE ACCEPTED AS PRIMA FACIE EVIDENCE THAT PLANS ARE IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.



CITY OF GAITHERSBURG
DEPARTMENT OF PUBLIC WORKS
AND ENGINEERING
FINAL APPROVAL
DATE 10/12/97
BY *[Signature]*

CITY OF GAITHERSBURG PLANNING COMMISSION
31 COUNTRY SUMMIT AVENUE, GAITHERSBURG, MARYLAND 20877
SITE PLAN APPROVAL
AT THE REGULARLY SCHEDULED MEETING OF THE PLANNING COMMISSION HELD ON OCTOBER 13, 1997
Held on 10/13/97
with the Kentlands Center
DATE 10/13/97
NOTE: THE PLANS FOR THE SITE ARE IN COMPLIANCE WITH THE PLANNING COMMISSION'S RESOLUTIONS.



WD&E
Wolfgang Downsing Architects & Engineers Limited, Inc.
Gary J. Durbin, P.E.

The Run
Touch Free
Car Wash

REVISIONS

1	10/03/97
---	----------

SITE SURVEY NUMBER
16-PJK

Mobil Oil Corporation
This document contains Mobil's confidential business information and trade secrets of Mobil, or unaffiliated subsidiaries of the Mobil or any partner thereof, is strictly confidential. Copyright in this work is the sole and exclusive property of Mobil. All rights reserved. Publication of this work may, without the prior written consent of Mobil, be prohibited.

PROJECT NUMBER
4.826

SHEET NUMBER
C1

OTR3000B B
"THE KENTLANDS", GAITHERSBURG, MARYLAND
SITE IMPROVEMENT PLAN

AFP-06-010
#12
7.19.06